

8.0 DETAILED DESIGN

8.5 Residential Design: Quality, Layout and Mix

Apartment Mix

A total of 150 residential apartment units are proposed in the U-shaped residential block (Block B), providing a mix of:

- 4.0% - studio units (6no. total)
- 16% - 1-bed units (24no. total)
- 48% - 2-bed units* (72no. total)
- 32% - 3-bed units (48no. total)

* all 2-bed units are 4 person type units (i.e. no 3 person 2-bed units are proposed).

Apartment Units Per Floor

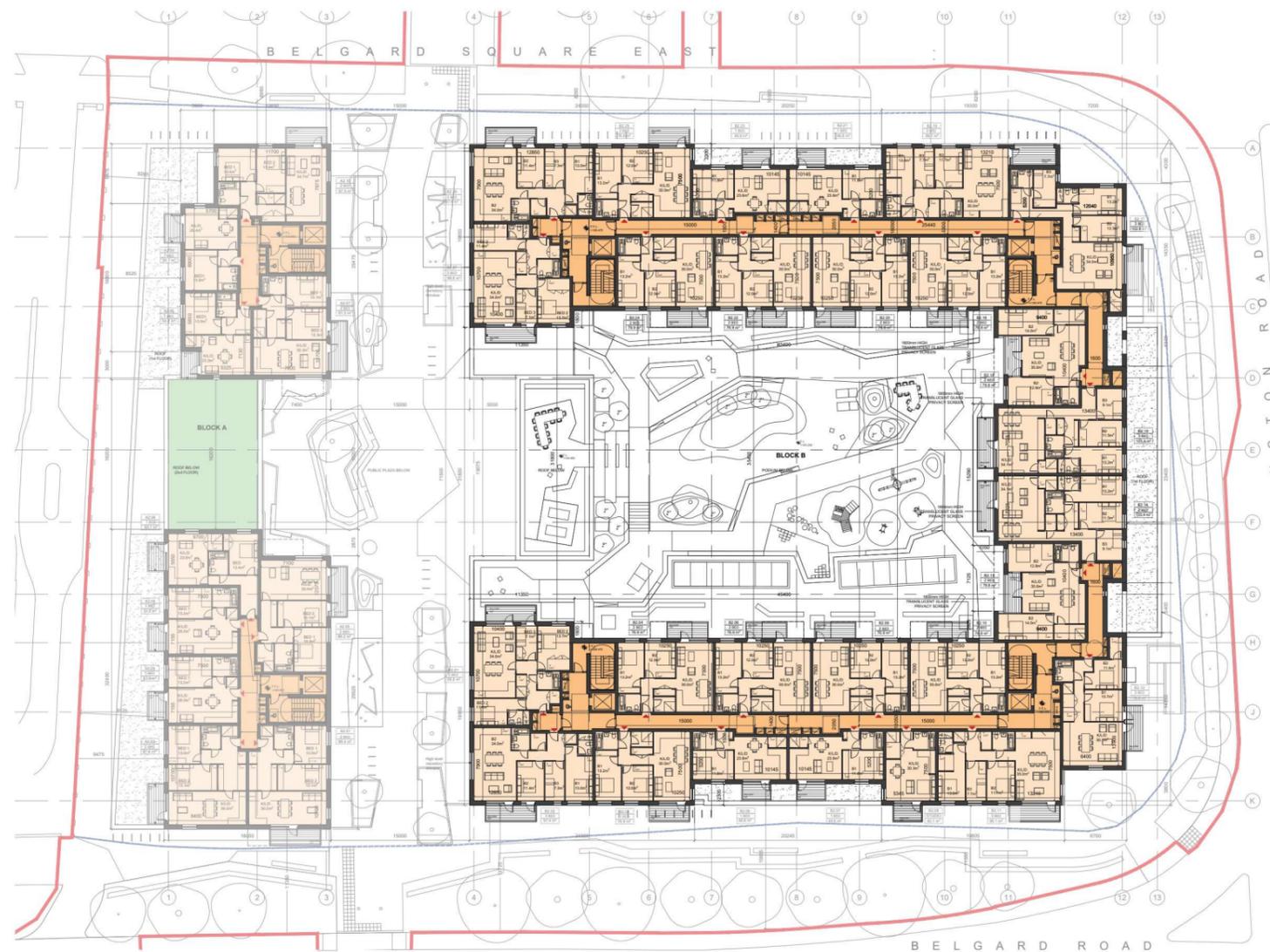
Across a typical floor 27no. units are provided with 4no. fire fighting stair/lift cores and each apartment is accessible from two of these vertical cores.

Apartment Aspect and Orientation

The perimeter arrangement of the block which forms a U-shaped courtyard largely determines the number of dual aspects which is deliverable. 48% of apartments are dual aspect, however, this increases to 55.8% when the 'Senior Living' units in Block A are included)

Apartment Size and Layout

All of the apartments have been reviewed and comply with the Residential Standards as contained in the Planning Design Standards for Apartments, Guidelines for Planning Authorities in July 2025, published by the Department of Housing, Local Government and Heritage (refer to Appendix C).



Typical Floor Plan of U-Shaped Apartment Block

8.0 DETAILED DESIGN

8.6 Senior Living Accommodation: Quality, Layout and Mix

Apartment Mix

A total of 49 residential apartment units, designed for 'Senior Living' residents are proposed in the linear Block A, providing a mix of:

47% - 1-bed units

53% - 2-bed units*

* all 2-bed units are 4 person type units (i.e. no 3 person 2-bed units are proposed).

Apartment Units Per Floor

Designed as two separate blocks, the larger block on the east side has a single stair/lift core serving 6no. apartments across a typical floor. The smaller block, to the east side, has 4no. apartments across a typical floor served by a single stair/lift core also.

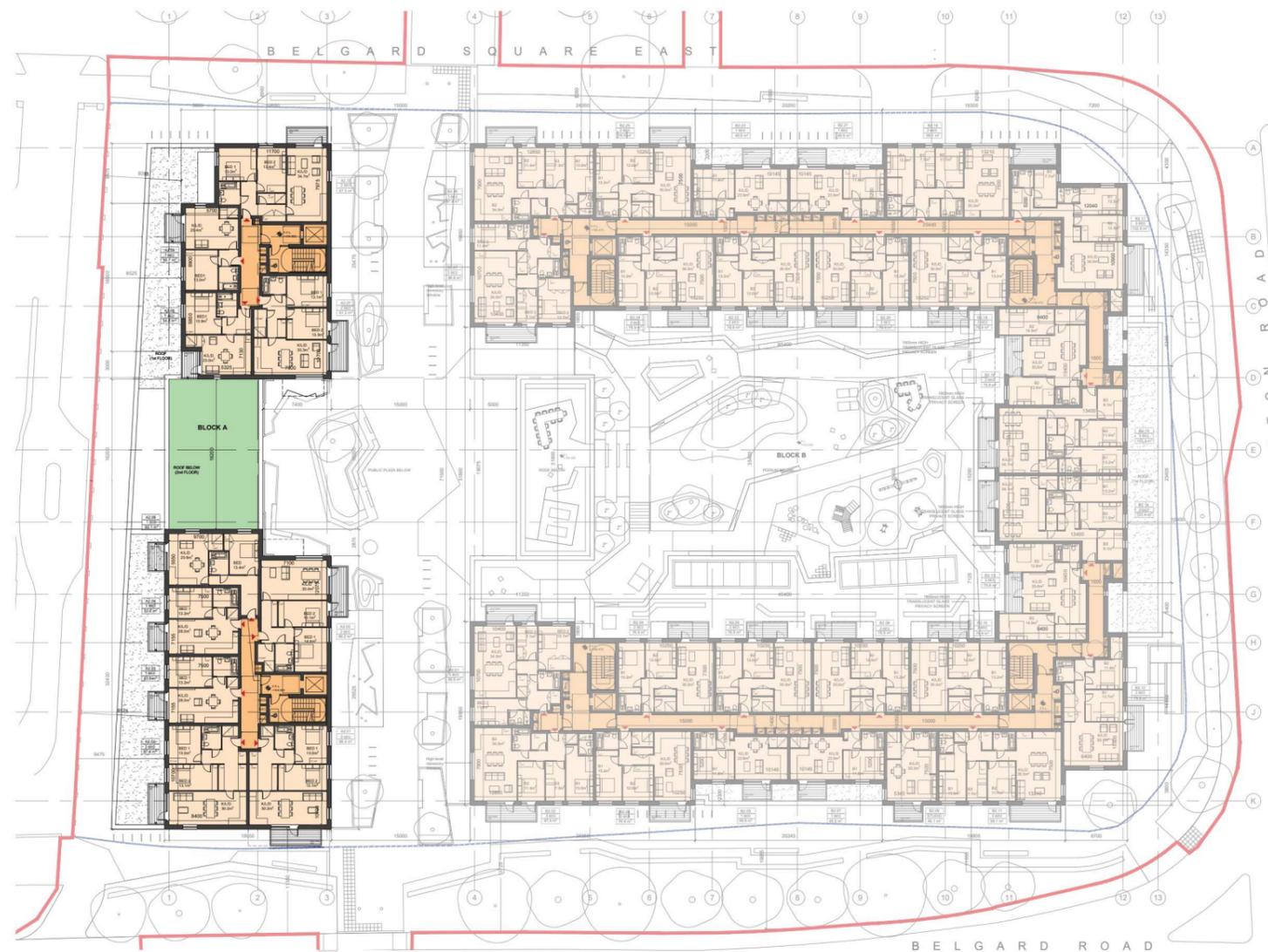
Apartment Aspect and Orientation

75.5% of the 'Senior Living' apartments are dual aspect and the remaining units which are single aspect all face South.

Apartment Size, Layout and Compliance.

These units are designed to adhere to the Universal Design Guidelines and provide larger apartment units with additional area for clear turning spaces and to meet the recommended minimum unobstructed room dimensions, clearance widths etc. to support older persons who may be in wheelchairs or have other disabilities or impairment.

The apartment layouts are designed to adhere to "Building for Everyone: A Universal Design Approach" published by the NDA Centre for Excellence in Universal Design.



Typical Floor Plan: Senior Living Accommodation

8.7 Apartment Units: Compliance and Design Standards

Apartment Units: Compliance and Design Standards

In terms of safeguarding higher standards of apartment design, the proposed design layouts exceed the minimum standards as set down in the Planning Design Standards for Apartments, Guidelines for Planning Authorities in July 2025, published by the Department of Housing, Local Government and Heritage (refer to Appendix C).

New Design Standards for Apartments, July 2025

New Design Standards for Apartments were issued in the publication of the Planning Design Standards for Apartments, Guidelines for Planning Authorities (2025) under Section 28 of the Planning and Development Act 2000 (as amended). These new Design Standards were issued in July, two months after the LRD Opinion Report for this proposed Planning Application was issued by South Dublin County Council (SDCC).

It is important to highlight that the design and layout of the proposed apartments in this Planning Application, has sought to retain compliance with the original Design Standards for Apartments (ref. Sustainable Urban Housing: Design Standards for New Apartments, Guidelines for Planning Authorities, published by the Department of Housing Local Government and Heritage in December 2023), although there is no statutory requirement to do so. Therefore, the proposed apartment designs and layouts have been updated to address the points raised in SDCC LRD Opinion Report (published May 2025), despite these being issued prior to the Design Standards for Apartments being amended in July 2025.

The primary amendments contained in the new Design Standards for Apartments (July 2025) which have therefore been exceeded or improved upon include:

1. Removal of the prescribed dwelling mix
ref. SPPR 1: *'there shall be no minimum or maximum requirements for apartments with a certain no. of bedrooms'*
The proposed residential mix is designed to comply with the mix as set out in the 2023 Design Standards for Apartments, including providing +30% 3-bed units in line with the SDCC LRD Opinion Report.
2. Reduction in the size of studio units from 37 sq m to 32 sq m.
ref. SPPR 2: *Studio apartment (1 person) minimum floor area 37sq.m.*
6no. studio apartments are proposed and all of these units measure +37sq.m. in line with the 2023 Design Standards for Apartments.
3. Introduction of a 76 sq m 3 bed apartment.
ref. SPPR 2: *3-bed apartment (4 persons) minimum floor area 76sq.m.*
All proposed 3-bed apartments are designed to be +90sq.m. in line with the 2023 Design Standards for Apartments for 5 person 3-bed apartments.
4. Max dual aspect requirement of 25%
ref. SPPR 3: *'a minimum of 25% of units within a development shall be required to be dual aspect'*.
55.8% of the apartment units proposed in this LRD Planning Application are designed to be dual aspect to meet
The min. 50% that was originally required under SPR 4 of the 2023 Design Standards for Apartments.

5. Floor to Ceiling Heights: Ground floor
ref. SPPR 4: *'Ground level apartment floor to ceiling heights shall be a minimum of 2.7m'*
No apartments are proposed at ground floor level, however the lowest level of apartments which are located at level 1 podium, are all designed to have a floor to ceiling height of 2.7m.
6. Floor to Ceiling Heights: Upper floors
ref. Section 3.8 *'the suggested minimum floor to ceiling height, consistent with good room design, the use of standard materials and good building practice is generally 2.4m'*
All apartment units across all floor levels are designed to have a floor to ceiling height of 2.7m.
7. Flexibility around private amenity space standards
ref. Section 8: Private Amenity Space:
'Planning Authorities may accept a reduced provision of balconies where high quality, usable communal open space is provided within the scheme or where their amenity value is negligible'
All apartment units are designed to have a balcony space to comply with the minimum standards as set out in the current Design Standards for Apartments (July 2025).

In respect of compliance with the and Design Standards with the Design Standards for Apartments (2025), Appendix C of this report provides a full quality assessment and compliance tables for all of the proposed apartment units. This includes the Apartment Design Standards to cover:

- Section 3.3: Apartment Floor Areas
- Section 3.7: Internal Storage
- Section 3.8: Private Amenity Space

8.8 Private Open Space and Privacy

The location and design of the private open space to all of the apartment units has been carefully considered throughout. The orientation, privacy, overlooking and the opportunity for potential interesting views to the new pedestrian concourse and public plaza have all been considered. The only location where directly opposing balconies cannot be eliminated is in the internal courtyard elevations of Block B, the U-shaped residential block, however these balconies are separated by a considerable distance - 35.4m.

On the typical floor of Block A, the 'Senior Living' residential block, 6 out of the 10 balconies and their corresponding living spaces are designed to face south. The optimum orientation for these units will substantially improve the quality of these units for older persons.



CGI Showing Private Open space at Podium Level

8.9 Separation Distances and Overlooking

Neighbouring Properties

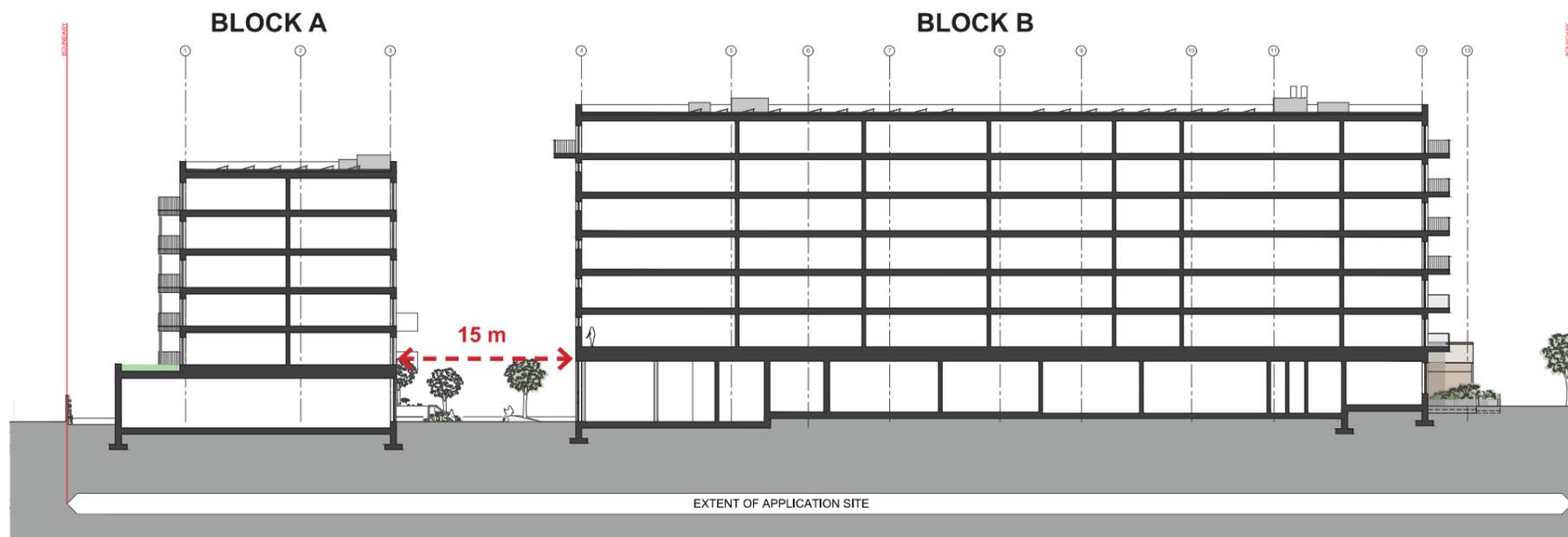
The proposed development benefits from the existing site context where, encompassing a full urban block, it is separated from its neighbours by wide carriageways along 3 of its sides. On the remaining southern boundary, the upper facade of the residential blocks is set back 8.2m from the boundary at its narrowest point tapering out to 9.7m. at its furthest point.

Units within the Proposed Development.

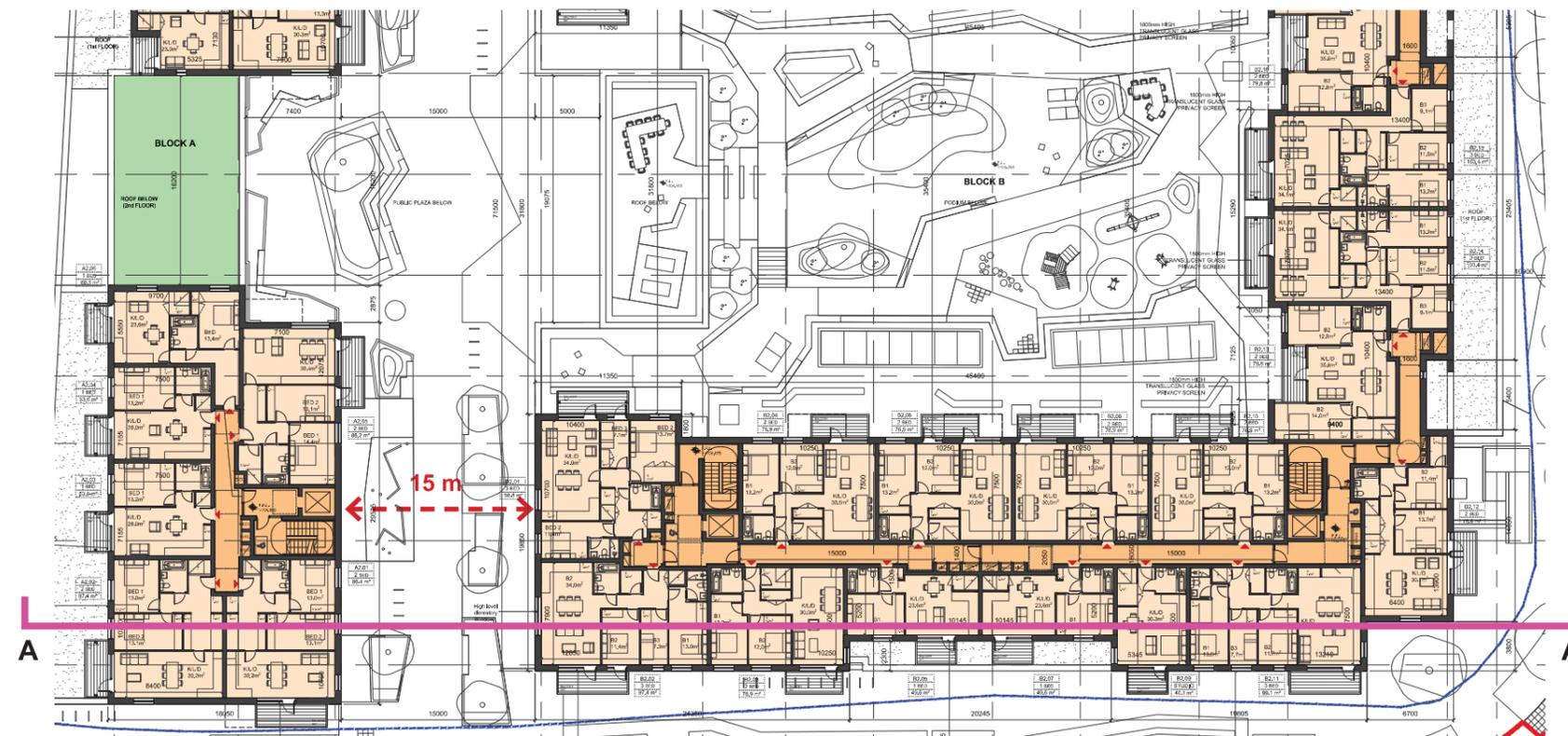
Under the Sustainable Residential Development and Compact Settlements Guidelines for Planning Authorities (Jan. 2024) separation distances is a specific planning policy requirement. SPPR 1 states that a separation distance of at least 16 metres between opposing windows serving habitable rooms is required. However, it also states that 'separation distances below 16 metres may be considered acceptable in circumstances where there are no opposing windows serving habitable rooms and where suitable privacy measures have been designed into the scheme to prevent undue overlooking of habitable rooms and private amenity spaces'.

The proposed gable ends of the U-shaped Residential Block B are located 15m. away, across the public concourse from the Senior Living Block A. Therefore, to ensure that there is no direct overlooking, each elevation and the corresponding floor plan have been designed to ensure that opposing windows do not occur. Three important design considerations also need to be highlighted at this point which help prevent overlooking:

- (i) the floor level between the opposing residential blocks are not the same, in fact one block is almost exactly a half level above the other.
- (ii) the stair/lift cores to the Senior Living block are designed on the north side of the block to present a blank face to the residential units opposite in Block B
- (iii) the windows to the gable of the U-shaped residential block are secondary and are designed as high level horizontal slot windows to prevent overlooking.
- (iv) only in very few instances where opposing windows serve a bedroom, there is a K/D/L opposite with occupation and use likely at different times of the day.



Section AA: Showing Separation Distances



Typical Floor Plan: Senior Living Accommodation

9.1 Elevations to Streetscape

The importance and quality objective in respect of using high quality materials is set out in Chapter 5, Section 5.2.9 of South Dublin County Council Development Plan, 2022-2028, Policy QDP11: Materials, Colours and Textures which seeks to promote:

'Promote high-quality building finishes that are appropriate to context, durable and adhere to the principles of sustainability and energy efficiency'.

In line with this policy, durable materials, including stone, brick, metal and glass are all proposed to promote contemporary high quality design.

Brick:

To emphasise the solidity of the elevational strategy as outlined in Section 8 of this report and provide subtle articulation of the building form, a restrained palette of materials is proposed, rather than relying upon a large number of materials to generate visual interest.

Brick is proposed throughout as the main material using a 'textured' cream/light coloured buff brick. An alternative darker brick with raked pointing is proposed where the recesses are formed in plan, providing subtle modelling of the brick mass across the longer elevations.

Although the final detail is subject to detailed design, early consideration of the brickwork detailing is key to delivering a high quality design. Therefore, careful selection of alternate brick types and brick bonds, including projecting bricks and pointing techniques are proposed to provide high quality details and to create visual interest. Two alternative decorative brick panels are proposed:

- (i) At the lower levels, a corbelled brick base is designed to the northern elevation along Old Blessington Road as well as to the brick gables of Block A ('Senior Living units') to change the appearance of the brick as it meets the ground plane. The corbelling pattern is achieved by projecting brick coursing to every second course (laid stretcher bond), evoking the "rusticated" ground floor that was used to provide a strong and visually heavy base in classical buildings (usually in stone) in the 19th century.
- (ii) At the upper levels, decorative brick panels are formed by projecting headers in a Flemish bond to create a textured brick panel between window openings. The distinct brickwork panel alternates between window openings with the openings themselves shuffling on the elevation to create an abstract pattern that challenges and disguises the repetition of the apartment plans behind. The variation between the brick panels and the windows is designed to create movement and visual interest that varies across all of the elevations.

Metal:

Powder coated metal finishes, including aluminium windows and sills, security screens, balustrades and rainwater goods, all provide the second material 'layer' to the building. The 'light bronze' colour is proposed to compliment the brick and alternating metal slats and solid panels are carefully arranged to increase the variety and visual interest across the facades.

Pre-cast stone:

The pre-cast stone elements are confined to the public plaza elevation in order to help bring a civic presence to the public plaza. The design rationale of this is described in further detail in Section 9.2 of this report.



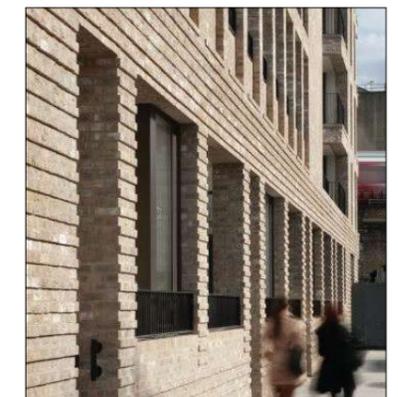
Ely Court, London:
Allison Brooks Architects



Elmville, Dublin:
Donnelly Turpin Architects



Brick soldier course



Corbelled brick base

9.2 Public Plaza

Limited use of pre-cast stone elements are introduced to the south elevation of the plaza. This is designed to contrast with the general use of brick throughout and to present a more formal civic frontage to the primary public plaza space. The series of tall and slender columns recall the classic and traditional public stone buildings that would have been centred in historic towns in the past. Increasing the scale of these columns to 2-storey further enhances the civic presence of the elevation to the public plaza. The columns break the parapet line, rising nearly two meters higher than the parapet either side to create a modern portico that is designed to be the key focal point along this new public pedestrian route.

On the northern side of the plaza is the entrance to the 'Senior Living' residential block. This is designed to contrast with the façade opposite. An open translucent screen with durable polycarbonate panels is designed at ground floor level to provide open transparency through this outdoor garden space towards the back wall which forms the southern boundary. This allows passive surveillance of the public plaza from within the garden amenity space and from the public plaza side, the visual barrier between the spaces is removed, giving the perception that the external space flows beyond the plaza area



Proposed Public Plaza

9.3 Courtyard (Podium Level) Elevations

The 'internal' courtyard elevations are designed with the same brick finishes to the facades facing the street, ie there is no material differentiation between back and front. This retains the integrity and quality of the overall design by ensuring that high a quality material finish is proposed throughout.

All of the balconies to the courtyard elevations are formed with vertical metal (steel or aluminium) 'slats' and painted to match the windows. The balconies are staggered across each floor to reduce overshadowing of the apartments below and the window openings shuffle similarly to create a little visual interest on the façade and avoid a repetitive or stagnant pattern.

Similar to the street elevations, textured brick panels are formed between some window openings by projecting headers in a Flemish bond to create. These decorative brick panels alternate between different windows across different floors to further offset the repetitive plan arrangement of the apartment units facing into the new communal courtyard at podium level.



Proposed Communal Garden at Podium Level



CGI showing decorative brick panels between windows and on gables

10.1 The Vision for a Sustainable Development

The primary purpose of the Tallaght Town Centre Local Area Plan (2020) is to provide a strategic framework for the sustainable development of Tallaght Town Centre. The Application site forms a full urban block all on its own and the Tallaght LAP identifies the site as a 'Retail Opportunity Site' with a recommendation to introduce a new secondary route across the width of the site on an east-west axis. The proposed design seeks to meet these recommendations within the LAP framework through high quality design solutions under the following three headings:

- Public Realm

The Tallaght Local Area Plan is reinforced by a strong vision for the public realm and public open space within 'The Centre' neighbourhood. The design of the proposed public realm has been carefully considered to encourage interaction between residents/visitors and the new street/public realm and to foster a strong and identifiable new neighbourhood. The proposed site strategy places a new public plaza at the heart of the proposed new urban design to deliver this vision.

- Public Plaza

Located centrally along a new fully pedestrianised concourse which connects 'The Square Tallaght' to the west with the newer retail area along Belgard Road to the east, the proposed new plaza is also intended as a destination along this new route – an alternative destination to 'The Square'. The new plaza is conceived as an outdoor piazza, a place where cafes, restaurants and complimentary artisan shops can open out to and enjoy the southerly sunny orientation with protection from the surrounding buildings on inclement days.

- A new Connected Neighbourhood

The Tallaght Town Centre LAP seeks to promote:

'An inclusive and vibrant Town Centre, a connected and accessible place with an attractive built environment for families of all kinds, workers, visitors and tourists. A place where people can live, work, visit and have fun in lively and liveable spaces'.

The key to delivering this vision on this site is the elimination of all vehicles (except emergency vehicles) from the proposed new tertiary connection through the site. This increases pedestrian permeability, improves pedestrian and cycle safety and creates a series of vibrant public spaces to be supported with a thriving economy. The variety of uses located throughout the proposed new public spaces and addressing the existing streets will deliver a long-term attractive and sustainable neighbourhood in line with that envisaged in the Tallaght Town Centre LAP



CGI showing Vibrant Public Plaza

10.2 Commercial and Residential Design

To support the sustainable urban design and healthy placemaking, the proposed urban as well as architectural design of the proposed building elements concentrates on the quality, as much as the quantum, of the commercial and residential design.

The key commercial and residential design elements can be summarised as follows:

Commercial Design

- diverse and sustainable mix of building uses and activities to foster a new, vibrant and safe neighbourhood
- creation of a thriving economy from the early morning through until the evening
- intensification of cafes, restaurants and artisan shops to promote the vibrancy around public open spaces
- generous open space provision immediately adjacent to the premier café/retail spaces for outdoor seating
- simple servicing arrangement to ensure that service vehicles are excluded from the pedestrian concourse and the public plaza
- high quality commercial/retail shopfronts to the new public realm
- maximising active street frontage to all existing surrounding streets, Belgard Road, Belgard Square East and Old Blessington Road.
- addition of two new pedestrian crossings to improve the connectivity across the site and the wider street network

Residential Design

- provision of a broad range of apartment types, including larger apartments designed specifically for older persons
- the apartments are designed to generally exceed the minimum standards as set down in the Planning Design Standards for Apartments, Guidelines for Planning Authorities in July 2025,
- 55.8% of the total number of proposed apartment units are designed to be dual aspect
- 75.5% of the proposed 'Senior Living' apartment units are designed to be dual aspect
- all single aspect units in the 'Senior Living' block are designed to be south facing
- access, approach and layout of all apartments are designed to follow the seven Principles of Universal Design
- single aspect north facing units, proposed as part of the original SHD application are eliminated
- all layouts are designed with an emphasis on adaptability and inclusivity
- all apartments units are designed to have a generous floor - ceiling dimension of 2.7m (exceeding the minimum 2.4m dimension in the current Design Standards for Apartments, July 2025, for upper floor apartment units)
- generous communal open space which measures 1,340sq.m. and is 52% above the minimum requirement as set out in the current Design Standards for Apartments (July 2025).
- secure bicycle parking and bin storage areas are equally distributed throughout the plan layout and are located in close proximity to the stair/lift cores at ground floor (car park) level

Summary

To summarise, the proposed new Urban and Architectural design seeks to embrace the opportunity that this strategically important site presents, both in terms of its central neighbourhood location within Tallaght and also within its unique form which represents a full new urban block. It recognises the importance of the site and a need to deliver a new connected and accessible place - a vibrant and attractive built environment with its own strong identity that will become an important new sustainable neighbourhood in the heart of Tallaght Town Centre.

The proposed new apartment design retains a broad range of apartment types. Rather than pair back the prescribed apartment mix as permitted in the recent publication of the Planning Design Standards for Apartments, Guidelines for Planning Authorities (2025), the proposed apartment mix complies with the mix as set out in the 2023 Design Standards for Apartments, including providing +30% 3-bed units in line with the SDCC LRD Opinion Report.

The proposed urban design strategy places a new public plaza at the heart of this new urban design proposal which is key to delivering the core vision of The Tallaght Town Centre LAP. The strong vision for the public open space and the new public realm design will create a new place where people can live, work, visit and enjoy this new lively neighbourhood.

Schedule of Areas

		Residential Mix					G.I.A. (m2)	Commercial (m2)					
		STUDIO	1B (2P)	2B (4P)	3B (5P)	Total							
Block A (Senior Living)	Basement Level	-	-	-	-	-	-	-	Application Site Area (m2) 11928				
	Ground Floor Level	-	-	-	-	-	1017	657	Ownership Area (m2) 9071				
	Mezzanine Level	-	-	-	-	-	-	-	Third party Ownership (m2) 2857				
	First Floor Level	-	3	6	0	9	1034	-	Plot Ratio (units per hectare) 2.4				
	Second Floor Level	-	5	5	0	10	864	-	Communal Amenity Space (m2)				
	Third Floor Level	-	5	5	0	10	864	-	4	5	7	9	Total (m2)
	Fourth Floor Level	-	5	5	0	10	864	-	24	235	686	432	1377
	Fifth Floor Level	-	5	5	0	10	864	-	(Block A) 303				
	Sixth Floor Level	-	-	-	-	-	-	-	(Block B) 1398				
	Subtotal	-	23	26		49	5507	657	Total 1701				
Percentage (Block A)	-	46.9%	53.1%					Public Open Space (POS) (m2) Target: 10% of site area(1192.8) 1192.8					
Block B	Basement Level	-	-	-	-	-	275	-	Public Open Space (POS) (m2) 1463				
	Ground Floor Level	-	-	-	-	-	2335	1285	Percentage of Site Area 16.1%				
	Mezzanine Level	-	-	-	-	-	355	151	Dual Aspect				
	First Floor Level	1	6	11	7	25	2532	30	No. Units	Dual Aspect	% Dual Aspect		
	Second Floor Level	1	4	13	9	27	2701	-	Block A 49	37	75.5%		
	Third Floor Level	1	4	13	9	27	2701	-	Block B 150	72	48.0%		
	Fourth Floor Level	1	4	13	9	27	2701	-	Total 199	109	55%		
	Fifth Floor Level	1	4	13	9	27	2701	-	Target		25%		
	Sixth Floor Level	1	2	9	5	17	1732	-	Total Car Parking Spaces 58				
	Subtotal	6	24	72	48	150	18033	1466	E.V.		12		
Percentage (block B)	4.0%	16.0%	48.0%	32.0%				Accessible		4			
Total	6	47	98	48	199	23540	2123	Total Bicycle Spaces 557					
Percentage (total)	3.0%	23.6%	49.2%	24.1%				Cargo		5			